

2 Pexhill Cottage, Pexhill Road, Henbury, Cheshire, SK11 9PT

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A three bedroom extended semi-detached cottage situated in the popular, semi rural hamlet of Lower Pexhill offering views over the Cheshire countryside.

The property has undergone a course of modernisation over recent years to now provide a welcome blend of period charm and modern features. The accommodation comprises of a superb drawing room with vaulted ceiling, large 'country cottage' style dining kitchen, utility room, WC, family room and study to the ground floor. To the first floor there are three bedrooms and family bathroom.

Externally the property sits on a corner plot with off road parking for several vehicles to the front and side. There is gated access to the good size rear garden with paved patio area with steps up to the lawned garden with flower and shrub borders that is enclosed by mature hedging with a pleasant open aspect over the adjoining farm land. Viewing is highly recommended.

Ground Floor

Porch: 3' 5" x 4' 2" (1.04m x 1.27m) Solid wood front door, Window to front, opening to

Study: 12' 5" x 12' (3.78m x 3.66m) Window to front, Feature fireplace with brick surround, wood mantle over and stone hearth, exposed ceiling beams, pendant light, radiator, power points.

Inner Hallway: Stairs to first floor, Stone flagged floor, under stairs storage cupboard, pendant light, radiator.

Family Room: 17' 11" x 13' 10" (5.46m x 4.22m) Min. Windows to front and side, feature cast iron fireplace with stone hearth, Pendant light, radiator, Power points, TV Ariel point.

Kitchen Breakfast Room: 22' 9" x 16' 11" (6.93m x 5.16m) Narrowing to 10'11" (3.32m) 'L' shaped. Window and door to side, range of fitted wall and base units with granite work surfaces to tiled splash backs, inset Belfast sink, plumbing for dishwasher, space for 2 oven AGA or range cooker inset into exposed brick chimney breast with inset wooden beam, built in fridge freezer, built in microwave, stone flagged floor, pendant lights, radiator.

Utility Room: Window to side, Wall mounted combination boiler for domestic hot water and central heating, Plumbing for washing machine. Stone flagged flooring.

Cloakroom: High level WC, Wall mounted wash hand basin, tiled splash backs, stone flagged floor.

Drawing Room: 23' 10" x 12' 8" (7.26m x 3.86m) Narrowing to 10'6" (3.20m) 2 x French doors to rear garden, window to side, vaulted ceiling with exposed truss timbers, TV Ariel point, pendant lights, power points, radiator.

First Floor

Landing: Exposed beams, pendant lights, doors off to:-

Bedroom 1: 12' x 11' 1" (3.66m x 3.38m) Window to front, Exposed ceiling beams, pendant light, power points.

Bedroom 2: 15' 5" x 12' 4" (4.70m x 3.76m) windows to front and side with views over the surrounding countryside, radiator, power points, TV Ariel point.

Bedroom 3: 11' 7" x 6' (3.53m x 1.83m) window to rear, pendant light, radiator, power points.

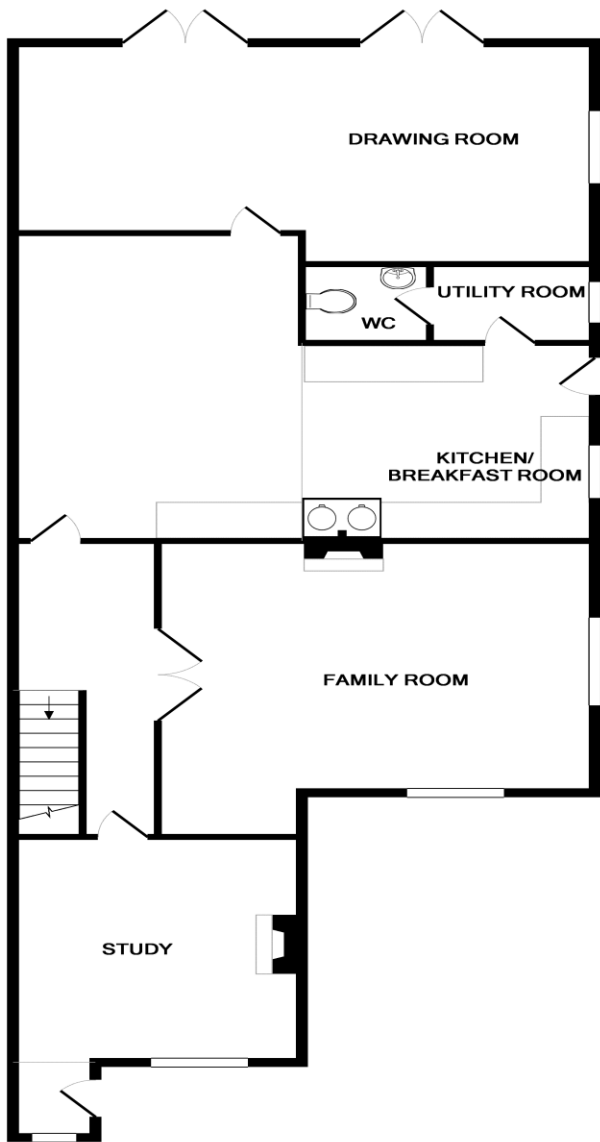
Bathroom: Window to side, White suite comprising rolled edge bath with ball and claw feet with mixer tap and shower attachment, Mains feed shower over the bath, low level wc, pedestal wash hand basin, tiled splash back, exposed ceiling beams, radiator, down lights.

Outside

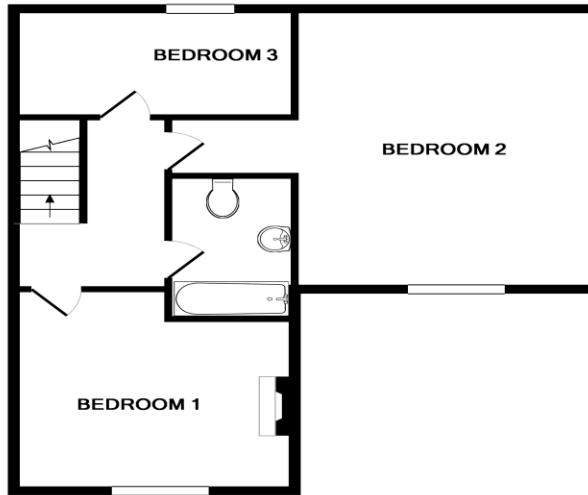
Garden: Externally the property sits on a corner plot with off road parking for several vehicles to the front and side. There is gated access to the good size rear garden with paved patio area with steps up to the lawned garden with flower and shrub borders that is enclosed by mature hedging with a pleasant open aspect over the adjoining farm land.

Directions: From the centre of Alderley Edge proceed in a southerly direction along London Road (A34) for approximately 4.8miles. Turn left on to the B5392 Pexhill Road, sign posted Gawsworth Hall, Macclesfield and continue along this road for just under 2miles where the property will be found on the left hand side on the corner of Bearhurst Lane and Pexhill Road.

Location: The Pexhill area offers easy access to the larger centres of Macclesfield and Congleton and the neighbouring village of Alderley Edge, all offering an excellent array of shopping, educational, recreational and transport facilities. Macclesfield's main railway station provides fast and frequent commuter services to Manchester and Stockport together with other centres and also provides intercity links with London. The International Airport at Ringway and the motorway network are both within 25 minutes drive away by car, thus making the situation admirable for both local and more distant travel. Equally accessible is the renowned Cheshire countryside and the beautiful Peak National Park.

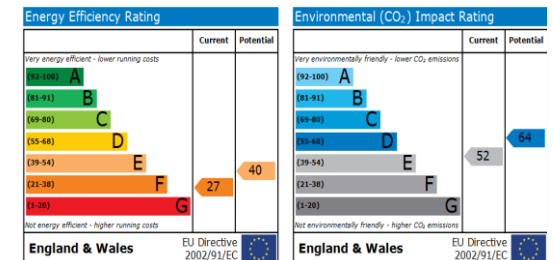


GROUND FLOOR



1ST FLOOR

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